

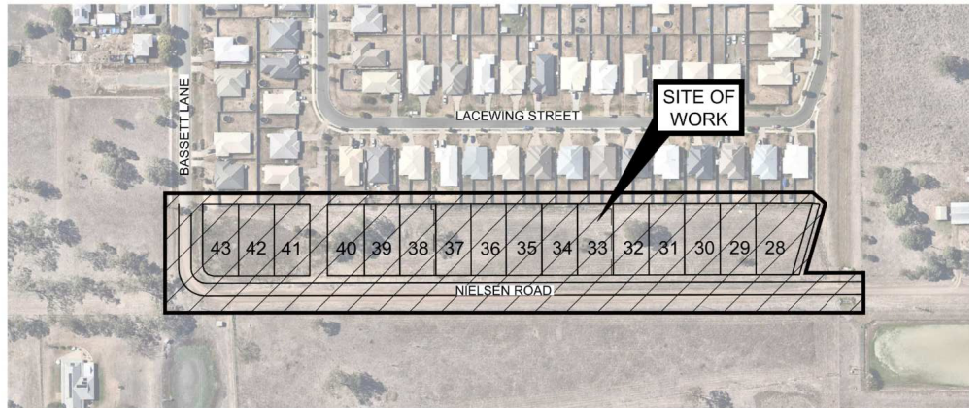
RESIDENTIAL DEVELOPMENT

ROSEHAVEN - STAGE 4

7001 NIELSEN ROAD ROSEWOOD QLD 4340

FOR: RESIDEV QLD PTY LTD

DRAWING SCHEDULE	
DWG No.	SHEET TITLE
GENERAL	
BR180079.4_C0.00	COVER SHEET, DRAWING INDEX AND LOCALITY PLAN
BR180079.4_C0.01	OVERALL EXISTING SERVICES LAYOUT PLAN
EARTHWORKS	
BR180079.4_C2.00	BULK EARTHWORKS DETAILS AND NOTES
BR180079.4_C2.05	OVERALL BULK EARTHWORKS LAYOUT PLAN
BR180079.4_C2.10	BULK EARTHWORKS LAYOUT PLAN SHEET 1 OF 2
BR180079.4_C2.11	BULK EARTHWORKS LAYOUT PLAN SHEET 2 OF 2
BR180079.4_C2.15	BULK EARTHWORKS SECTIONS
ROADWORKS	
BR180079.4_C3.00	ROADWORKS TYPICAL DETAILS AND GENERAL NOTES
BR180079.4_C3.05	OVERALL ROADWORKS AND PAVEMENT LAYOUT PLAN
BR180079.4_C3.10	ROADWORKS AND DRAINAGE LAYOUT PLAN SHEET 1 OF 2
BR180079.4_C3.11	ROADWORKS AND DRAINAGE LAYOUT PLAN SHEET 2 OF 2
BR180079.4_C3.20	NIELSEN ROAD SETOUT AND LONGITUDINAL SECTION
BR180079.4_C3.25	NIELSEN ROAD CROSS SECTIONS SHEET 1 OF 3
BR180079.4_C3.28	NIELSEN ROAD CROSS SECTIONS SHEET 2 OF 3
BR180079.4_C3.27	NIELSEN ROAD CROSS SECTIONS SHEET 3 OF 3
BR180079.4_C3.35	NIELSEN ROAD CULVERTS LAYOUT PLAN AND SECTION
BR180079.4_C3.36	DRIVEWAY CULVERT SECTIONS
STORMWATER	
BR180079.4_C0.01	OVERALL STORMWATER CATCHMENT LAYOUT PLAN AND LONGITUDINAL SECTION
BR180079.4_C0.05	STORMWATER DRAINAGE CALCULATIONS TABLE



LOCALITY PLAN
SCALE 1:1500

No. OF LOTS = 16
AREA OF SITE = 2.281 ha

RP DESCRIPTION

LOT 903 ON SP275462

DATUM LEVEL

AHD PSM 2028

RL 42.90

SURVEYOR DETAILS

LAND PARTNERS

CONTACT DETAILS

LEVEL 1, CDOP 6, 18 LITTLE CRIBB
STREET, MILTON QLD 4064

PHONE: (07) 3842 1000

Pursuant to the Planning Act 2016, this plan forms part of Council's approval for

Approval No: 18248/2021/OW

Date: 24 January 2022

CONTRACTORS NOTES

- ALL PLANS TO BE READ IN CONJUNCTION WITH PROJECT SPECIFICATIONS
- CONTRACTOR TO CONFIRM THE LOCATION AND INVERT OF ALL EXISTING SERVICES PRIOR TO CONSTRUCTION

CONSTRUCTION NOTE

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH:

- LANDSCAPE ARCHITECTS PLANS
- STORMWATER QUALITY MANAGEMENT REPORT
- SEDIMENT AND EROSION HAZARD ASSESSMENT
- ACID SULPHATES SOILS REPORT
- GEOTECHNICAL REPORT
- VEGETATION MANAGEMENT PLAN (VMP)
- ELECTRICAL CONSULTANTS PLANS

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RESIDEV QLD PTY LTD

12/2 QUAMBY PLACE
NOOSA HEADS 4567 QLD
PHONE : (07) 5455 5888

ENGINEER'S CERTIFICATION

Roshan Khadka
RPEQ NO:15945
2021.11.16
14:17:18+10'00'



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South Brisbane QLD 4101
T +61 7 3844 5900



Project	
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RESIDENTIAL DEVELOPMENT
ROSEHAVEN STAGE 4

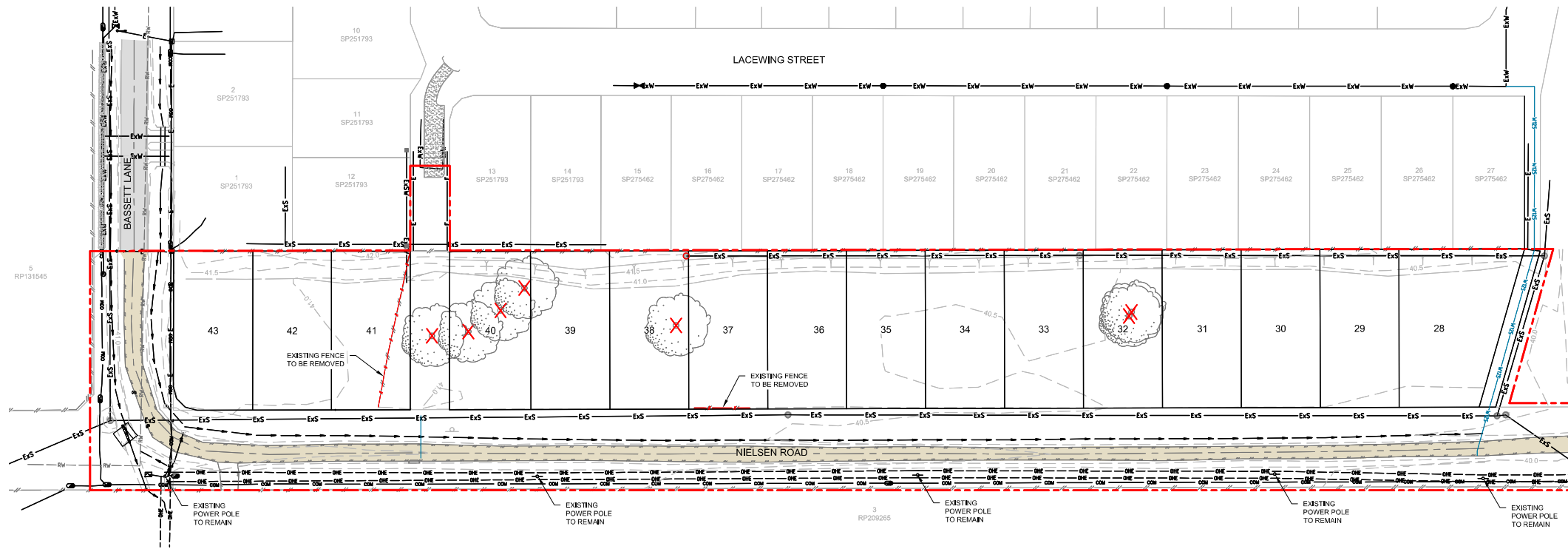
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COVER SHEET
DRAWING INDEX AND LOCALITY PLAN

Drawn MC	Date 23.05.19	Scale AS SHOWN	A1	G.A. Check RK	Date 16.11.21
Designed BG	Project No. BR180079.4		Dwg. No. C0.00		Issue A

ISSUE FOR APPROVAL

[illegible]



FOR CONTINUATION REFER BELOW

FOR INFORMATION ONLY

Pursuant to the Planning Act
2016, this plan forms part of
Council's approval for

Approval No: 18248/2021/OW

Date: 24 January 2022



WARNING

NOTE: EXTREME CARE TO BE TAKEN WHILE WORKING IN THE VICINITY OF OVERHEAD POWER LINES, UNDERGROUND ELECTRICITY AND TELECOMMUNICATIONS CABLES. LOCATIONS ARE TO BE CONFIRMED PRIOR TO START OF CONSTRUCTION.

NOTE:

CONTRACTOR TO MAKE ALLOWANCE FOR ANY PROTECTION, ARBORISTS OR REMOVAL OF TREES WHICH ARE IMPACTED BY CIVIL WORKS ON SITE.

NOTE:

SURVEY INFORMATION PROVIDED BY LAND PARTNERS, REFER FILE REF WC008166-004-2-5 DRAFTED 15/11/19

LEGEND

- PROPOSED STAGE BOUNDARY
- EXISTING CONTOURS (0.25m INTERVAL)
- EXISTING ROAD CONTROL LINE
- EXISTING EDGE OF BITUMEN
- EXISTING STORMWATER DRAINAGE
- EXISTING SEWER RETICULATION
- EXISTING WATER RETICULATION
- EXISTING OVERHEAD ELECTRICAL
- EXISTING FENCE
- EXISTING FENCE TO BE REMOVED
- EXISTING UNDERGROUND COMMUNICATION
- EXISTING TABLE DRAIN

- EXISTING TREE - REFER LANDSCAPE ARCHITECTS DRAWINGS
- EXISTING TREE TO BE REMOVED AND/OR REPLACED ELSEWHERE REFER LANDSCAPE ARCHITECTS DRAWINGS
- EXISTING DRIVEWAY
- EXISTING ROAD

EXISTING SERVICES NOTE:

- NOTWITHSTANDING THAT EXISTING SERVICES MAY OR MAY NOT BE SHOWN ON THE DRAWINGS, NO RESPONSIBILITY IS TAKEN BY THE SUPERINTENDENT OR THE PRINCIPAL FOR THIS INFORMATION WHICH HAS BEEN SUPPLIED BY OTHERS. THE DETAILS ARE PROVIDED FOR INFORMATION ONLY. THE CONTRACTOR SHALL ASCERTAIN THE POSITION OF ANY UNDERGROUND SERVICES IN THIS AREA AND SHALL BE RESPONSIBLE FOR MAKING GOOD ANY DAMAGE CAUSED ON SITE.
- LOCATION OF ALL EXISTING SERVICES ARE INDICATIVE ONLY AND ARE TO BE CONFIRMED PRIOR TO CONSTRUCTION.
- ALL EXISTING SERVICE STRUCTURES OR LIDS AFFECTED BY THE WORKS ARE TO BE ADJUSTED TO MATCH PROPOSED NEW SURFACE LEVELS.

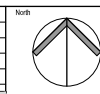


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Rev	Description	Date	Drawn	Approved
A	BLUE FOR OPERATIONAL WORKS APPROVAL	16/11/21	BG	RK
P1	BLUE FOR REVIEW	23/05/19	MC	



RESIDEV QLD PTY LTD
12/2 QUAMBY PLACE
NOOSA HEADS 4567 QLD
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ENGINEER'S CERTIFICATION
Roshan Khadka
RPEO NO: 15945
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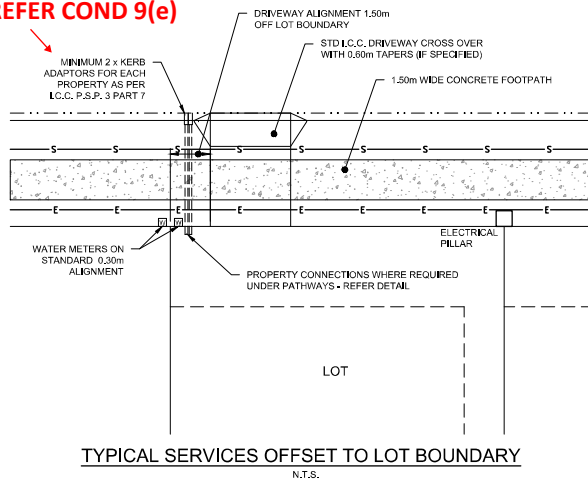
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T +61 7 3844 5900



**RESIDENTIAL DEVELOPMENT
ROSEHAVEN STAGE 4**
7001 NIELSEN ROAD
ROSEWOOD, QLD, 4340

Drawing Title					
OVERALL EXISTING SERVICES LAYOUT PLAN					
Drawn	Date	Scale	A1	C/A Check	Date
MC	23.05.19	1:500		RK	16.11.21
Designed	Project No.	Draw No.	Issue		
BG	BR180079.4	C0.01	A		

REFER COND 9(e)



NOTE:

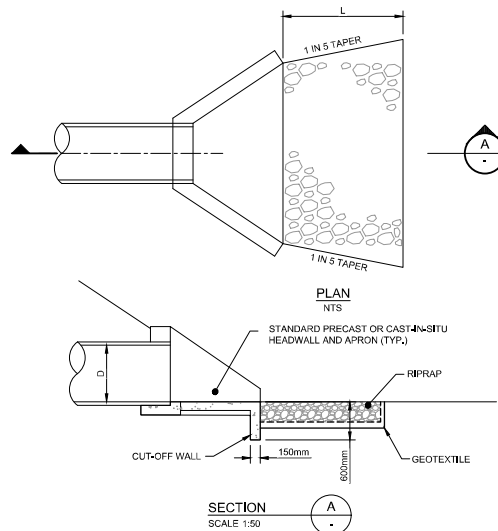
VERGE PROFILE SHOWN INDICATIVELY. CONTRACTOR SHALL ENSURE CONSTRUCTED VERGE PROFILES MATCH I.C.C. STANDARD DRAWING SR.06

ALLOY

CAST IRON KERB ADAPTOR OR APPROVED EQUIVALENT TO BE CAST INTO KERB & CHANNEL. AS PER I.C.C. STANDARD DRAWING SR.17

ROOFWATER FOOTPATH CROSSING

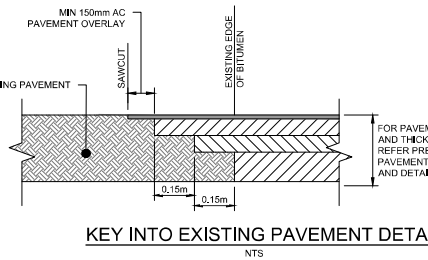
N.T.S.



SCOUR PROTECTION DETAIL

KEY INTO EXISTING PAVEMENT DETAIL

NTS



Pursuant to the Planning Act 2016, this plan forms part of Council's approval for

Approval No: 18248/2021/OW

Date: 24 January 2022

REFER COND 9(e)

IN ACCORDANCE WITH NOTE 7.2.6E OF PSP3 PART 7, THE FINAL FORM OF ALL INLET AND OUTLET STRUCTURES IS TO BE SUBJECT TO ON-SITE DETERMINATIONS WITH COUNCIL

D₅₀ NOTE:

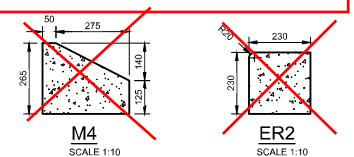
D₅₀ ON THE ENGINEERING PLANS SHOW ROCK WORKS DENOTED AS HAVING SIZES OF D₅₀. D₅₀ CORRESPONDS TO THE MEDIAN DIAMETER OF WHICH HALF OF THE ROCK SIZES SHALL BE GREATER AND HALF OF THEM BE SMALLER. THE ROCK SHALL BE WELL GRADED AND HAVE A MAXIMUM SIZE NO GREATER THAN 30% SMALLER THAN D₅₀. FOR EXAMPLE IF D₅₀=400mm IS SPECIFIED, THE EQUIVALENT ROCK DIAMETER RANGES FROM 280mm TO 520mm.

OUTLET RIPRAP DEPTH VALUES

OUTLET NAME	MINIMUM DEPTH	D ₅₀	L (min)
OUT/1	100mm	100mm	1.2m
IN/C1	200mm	200mm	3.0m
OUT/C1	200mm	200mm	3.0m
IN/C2	200mm	200mm	3.0m
OUT/C2	200mm	200mm	3.0m

NOTES

- ALL SETTING OUT GIVEN FOR KERBS (i.e. COORDINATES, RADII AND ARC LENGTHS) REFERS TO SETOUT LINE SHOWN AS 'SO' ON DETAILS. (i.e. RADII SHOWN LR10 - DENOTES LR10 RADIUS 10.0m)
- ALL LEVELING INFORMATION GIVEN FOR KERBS REFERS TO LEVELING POINT SHOWN AS 'LP' ON DETAILS.
- 20mm ARRS ON CHANNEL TO BE REDUCED TO 5mm WHEN ADJACENT TO TREATMENTS.
- ALL DIMENSIONS SHOWN ARE IN MILLIMETRES UNLESS NOTED OTHERWISE.
- CONSTRUCTION JOINTS IN ALL TYPES OF KERB SHALL BE EVENLY SPACED AT 3m CENTRES. CLEAR JOINTING OF THE KERB IS REQUIRED TO GUARANTEE CRACKING AT THE REQUIRED CONSTRUCTION JOINT LOCATIONS.
- REFER IPSWICH CITY COUNCIL STANDARD DRAWING SR.11 FOR DETAILS.



*REFER TO I.C.C. STD. DRG. SR.11 FOR STANDARD KERB PROFILES DETAILS.

GENERAL NOTES:

- THE CONTRACTOR SHALL TAKE OUT ALL APPROPRIATE LOCAL AUTHORITY PERMITS PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL NOTIFY THE SUPERINTENDENT PRIOR TO COMMENCEMENT OF DEMOLISHING ANY EXISTING STRUCTURES WITHIN THE SITE AREAS.
- FOR MARKETING REASONS, IT IS ESSENTIAL THE SITE IS KEPT IN A TIDY STATE EVEN DURING CONSTRUCTION. THE CONTRACTOR SHALL ALLOW IN HIS TENDER TO CLEANUP THE SITE INCLUDING REMOVAL OF RUBBISH AND EXCESS SOIL, STACKING OF LOOSE PILES AND GRADING OF DISTURBED AREAS AS DIRECTED EACH FRIDAY AFTERNOON TO PRESENT THE SITE IN THE MOST ATTRACTIVE MANNER AT ALL TIMES.
- WORKS SHALL BE PROGRAMMED SO AS NOT TO DISTURB NEARBY HOUSEHOLDERS EITHER BY DUST, NOISE, FLOODING OR DISCONNECTION OF SERVICES.
- ALL WORK TO BE CARRIED OUT SHALL BE IN ACCORDANCE WITH WH&S GUIDELINES
- ALL DIMENSIONS ARE IN METERS UNLESS SHOWN OTHERWISE.
- NOTWITHSTANDING THAT EXISTING SERVICES MAY OR MAY NOT BE SHOWN ON THE JOB DRAWINGS, NO RESPONSIBILITY IS TAKEN BY ACOR, THE SUPERINTENDENT OR THE PRINCIPLE FOR THIS INFORMATION WHICH HAS BEEN SUPPLIED BY OTHERS. THE DETAILS ARE PROVIDED FOR INFORMATION ONLY. THE CONTRACTOR SHALL ASCERTAIN THE POSITION OF ANY UNDERGROUND SERVICES IN THIS AREA AND SHALL BE RESPONSIBLE FOR MAKING GOOD ANY DAMAGE THERETO.
- LOCATION OF EXISTING SERVICES ARE INDICATIVE ONLY AND ARE TO BE CONFIRMED PRIOR TO CONSTRUCTION. ALL EXISTING SERVICES STRUCTURES OR LIDS AFFECTED BY THE WORKS ARE TO BE ADJUSTED TO MATCH PROPOSED NEW SURFACE LEVELS.

ROADWORKS AND DRAINAGE NOTES

- ALL WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH CURRENT I.C.C. STANDARD DRAWINGS AND METHODS.
- NOT WITHSTANDING THE LIMITS OF CUTTING AND FILLING SHOWN ON THE CROSS SECTIONS, THE ACTUAL LIMITS SHALL BE DETERMINED ON-SITE BY THE SUPERINTENDENT DURING CONSTRUCTION AND SIMILARLY THE FINISHED SURFACE CONTOURS MAY BE ADJUSTED BY WRITTEN DIRECTION OF THE SUPERINTENDENT DURING CONSTRUCTION.
- LEVELS FOR KERB AND CHANNEL CONSTRUCTION ARE AT EQUAL INTERVALS AT LIP OF CHANNEL UNLESS SHOWN OTHERWISE.
- SIDE DRAINS TO BE CONSTRUCTED UNDER ALL KERBS AND CHANNEL AND IN LOCATIONS DIRECTED BY THE SUPERINTENDENT IN ACCORDANCE WITH I.C.C. STANDARDS.
- LEVELS AND GRADIENTS AT JUNCTIONS WITH EXISTING WORKS MAY BE VARIED AS REQUIRED TO ACHIEVE A SATISFACTORY CONNECTION AND THE CONTRACTOR SHALL INCLUDE THE COST OF THIS WORK IN THE TENDER PRICE. WHERE NEW WORK JOINS EXISTING, THE WORK SHALL TRANSITION NEATLY WITH THE PAVEMENT SO THAT DEVIATION FROM THE LINE OF A 3.0m STRAIGHT EDGE SHALL BE NO GREATER THAN 10mm.
- SUBGRADE CBR TEST RESULTS TO BE FORWARDED TO SUPERINTENDENT. FOR DETERMINATION OF BOX DEPTHS PRIOR TO EXCAVATION, TESTS SHALL INCLUDE SOAKED CBR AND/OR OTHER TESTS AS REQUESTED BY THE SUPERINTENDENT.
- CONTRACTOR TO LIAISE WITH ALL RELEVANT SERVICE AUTHORITIES TO ASCERTAIN SERVICES PRESENT ON-SITE. ANY ALTERATION WORKS TO SERVICES WILL BE CARRIED OUT BY THAT SERVICE AUTHORITY ONLY.
- FOOTPATHS AND BATTERS TO HAVE MINIMUM OF 75mm TOPSOIL (AND GRASSING IF ORDERED).
- PROVIDE 'B' GRADE TURING TO OUTLETS AS DIRECTED BY THE SUPERINTENDENT.
- ALL TRENCH EXCAVATION AND CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF THE QUEENSLAND WORK HEALTH AND SAFETY ACT 2011.
- ALL SETTING OUT IS THE RESPONSIBILITY OF THE CONTRACTOR. PRIOR TO WORKS COMMENCING ON SITE, THE SUPERINTENDENTS SURVEYOR SHALL PEG ALL ALLOTMENT BOUNDARIES, PROVIDE COORDINATE INFORMATION TO THESE PEGS AND PLACE BENCH MARKS. THE CONTRACTOR SHALL SET OUT THE WORKS FROM AND MAINTAIN THESE PEGS.
- PIPE EXCAVATION, BEDDING AND BACKFILL (INCLUDING THE RESTORATION OF PAVEMENT TRENCHES) IS TO BE AS PER I.C.C. STANDARD DRAWING SD.11.
- RETAINING WALL SUBSOIL DRAINS TO CONNECT TO KERB AND CHANNEL SUBSOIL OR STORMWATER DRAINAGE STRUCTURES.
- ALL STORMWATER PIPES UNDER ROADWAYS AND FOOTPATHS SHALL BE CLASS '3' STEEL REINFORCED CONCRETE UNLESS NOTED OTHERWISE. (ALL PIPES ARE 0315 S.D.C.P. UNLESS NOTED OTHERWISE).
- ALL STORMWATER PIPES UP TO AND INCLUDING 6000 SHALL BE R.R.J. STORMWATER PIPES GREATER THAN 6000 SHALL BE INTERNAL FLUSH JOINTED WITH PROPRIETARY EXTERNAL BAND.
- STORMWATER MANHOLES WHERE SHOWN ARE TAKEN TO BE AS PER I.C.C. STANDARD DRAWINGS SD.02 AND SD.03.
- STORMWATER GULLY PITS WHERE SHOWN ARE TAKEN TO BE LIP IN LINE AS PER I.C.C. STANDARD DRAWINGS SD.04 AND SD.06 AND THE GRATE AND FRAME DETAILS AS PER I.C.C. STANDARD DRAWING SD.07.
- STEPFRONS ARE TO BE PROVIDED IN STORMWATER MANHOLES AND GULLIES GREATER THAN 1.20m DEEP. IN ACCORDANCE WITH I.C.C. STANDARD DRAWING SD.10.
- THE STORMWATER PIPE CLASSES HAVE BEEN DESIGNED FOR SERVICE LOADS ONLY, AND THE CONTRACTOR SHALL ACCESS ANTICIPATED CONSTRUCTION LOADS AND UPGRADE THE PIPE CLASSES IF NECESSARY. IN ACCORDANCE WITH AS3725-2007.
- THE CONTRACTOR IS TO CONFIRM THE LOCATION OF SERVICE CONDUITS WITH THE SUPERINTENDENT PRIOR TO LAYING STORMWATER DRAINAGE.
- ALL CONSTRUCTION ACTIVITIES SHALL COMPLY WITH WORK HEALTH AND SAFETY REGULATIONS.
- WHERE APPLICABLE, STORMWATER LINES TO BE LOCATED BENEATH THE KERB AND CHANNEL WITH THE OUTER EDGE OF STORMWATER PIPE TO BE DIRECTLY BENEATH THE BACK OF KERB AND CHANNEL.
- STORMWATER LINES UNDER ROAD PAVEMENT ARE TO BE AVOIDED WHERE POSSIBLE. NO ACCESS COVERS ARE PERMITTED WITHIN ROAD PAVEMENT.
- GULLY PITS GREATER THAN 1.2m IN DEPTH ARE TO BE CONSTRUCTED AS A GULLY PIT OVER ACCESS CHAMBER STRUCTURE.
- ACCESS CHAMBERS ARE TAKEN TO BE AS PER I.C.C. STANDARD DRAWING SD.02.

ROOFWATER NOTES:

- SET OUT POINT FOR DRAINAGE STRUCTURES IS TO THEIR GEOMETRIC CENTER.
- ROOFWATER HOUSE CONNECTIONS AND SETOUT REFER I.C.C. STANDARD DRAWING SD.12. FOR ROOFWATER PIT DETAILS REFER I.C.C. STANDARD DRAWING SD.12.
- ROOFWATER ALIGNMENT TO BE 0.6m OFF FRONT AND REAR PROPERTY BOUNDARY. ROOFWATER PITS TO BE 0.6m OFF SIDE BOUNDARIES UNLESS SHOWN OTHERWISE.
- ROOFWATER HOUSE CONNECTIONS TO BE 0.6m FROM PROPERTY BOUNDARY UNLESS NOTED OTHERWISE.
- ROOFWATER DRAIN LINES SHALL BE BEDDED AND SURROUNDED WITH SAND TO MINIMUM 100mm ABOVE THE CROWN OF PIPE.
- HOUSE CONNECTIONS TO EXTEND A MINIMUM OF 1.0m PAST ADJACENT SEWER LINES.
- ROOFWATER DRAINAGE PIPES TO BE uPVC (1000 CLASS SN8, >1500 CLASS SN8), OR RCP CLASS 3 WITH RUBBER RING JOINTS.
- MINIMUM COVER TO PIPES TO BE 450mm AND TO SUIT FINISHED SURFACE LEVEL.
- ENDS OF PIPES AND STUBS TO BE CAPPED.
- LOTS WITHOUT REAR ALLOTMENT DRAINAGE SHALL HAVE 2 FULL HEIGHT ROOFWATER KERB ENTRY ADAPTOR WITHIN 500mm FROM THE LOWEST BOUNDARY. UNLESS ON ZERO LOT BOUNDARIES WHERE THEY ARE TO BE ALIGNED AS PER THE DETAIL ABOVE.
- WHERE CONCRETE FOOTPATHS ARE CONSTRUCTED, PROVIDE TWIN 1000 uPVC PIPES CONNECTED TO THE KERB ADAPTORS AT A MINIMUM OF 1.25% GRADE EXTENDING PAST THE FOOTPATH TO 600mm INSIDE PROPERTY BOUNDARY.
- FOR ROOFWATER HOUSE CONNECTIONS, STORMWATER MARKING TAPE SHALL BE TIED TO THE CAP OF THE INSPECTION OPENING AND SHALL EXTEND TO THE SURFACE.
- ROOFWATER CONNECTIONS TO KERB & CHANNEL TO BE 1000 uPVC. FOR DETAILS REFER I.C.C. STANDARD DRAWING SR.17.
- ROOFWATER HOUSE CONNECTIONS TO GULLIES TO BE 2150 uPVC AT 450mm MIN. COVER.
- ALL STUBS FROM ROOFWATER PITS SHALL BE 2150 CLASS SN8 UNLESS SHOWN OTHERWISE.

GENERAL PAVEMENT NOTES:

- WORKS NOT SPECIFICALLY REFERRED TO, ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD DRAWINGS AND SPECIFICATIONS OF THE I.C.C. & DTRM.
- AT COMPLETION OF CONSTRUCTION THE CONTRACTOR SHALL ARRANGE FOR AN INDEPENDENT LICENSED SURVEYOR TO CARRY OUT A "WORKS AS CONSTRUCTED" SURVEY AND SUBMIT THE DETAIL PLAN TO THE SUPERINTENDENT.
- EDGE RESTRAINT: KERB & CHANNEL TO I.C.C. STANDARD DRAWINGS, UNLESS NOTED OTHERWISE ALL KERBING TO HAVE SUBSOIL DRAINAGE BENEATH.
- ALL TRENCHES UNDER THE ROAD SHALL BE BACKFILLED IN LAYERS NOT EXCEEDING 150mm COMPACTED THICKNESS, COMPACT TO NOT LESS THAN 98% MAXIMUM DRY DENSITY BY MODIFIED COMPACTION TEST (AS 1289). ELSEWHERE 95% MAXIMUM DRY DENSITY STANDARD COMPACTION TEST.
- PERFORATED SUBSOIL DRAINS ARE TO BE USED IN ALL AREAS EXCEPT WHERE SUBSOIL DRAINS ARE SHOWN BENEATH PAVED AREAS THEN PIPES ARE TO BE uPVC CLASS 12 H.

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Rev	Description	Date	Drawn	Approved
A	BLUE FOR OPERATIONAL WORKS APPROVAL	16/11/21	BG	RK
P1	BLUE FOR REVIEW	12/03/20	MC	

Client

RESIDEV QLD PTY LTD

12/2 QUAMBY PLACE
NOOSA HEADS 4567 QLD
PHONE: (07) 5455 5888

ENGINEER'S CERTIFICATION

Roshan Khadka
RPEC NO: 15945
2021.11.16
14:17:19+10'00'

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Project

RESIDENTIAL DEVELOPMENT
ROSEHAVEN STAGE 4

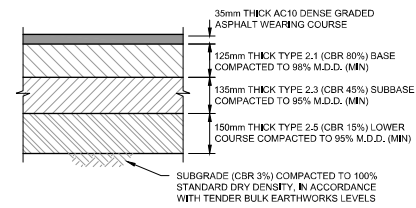
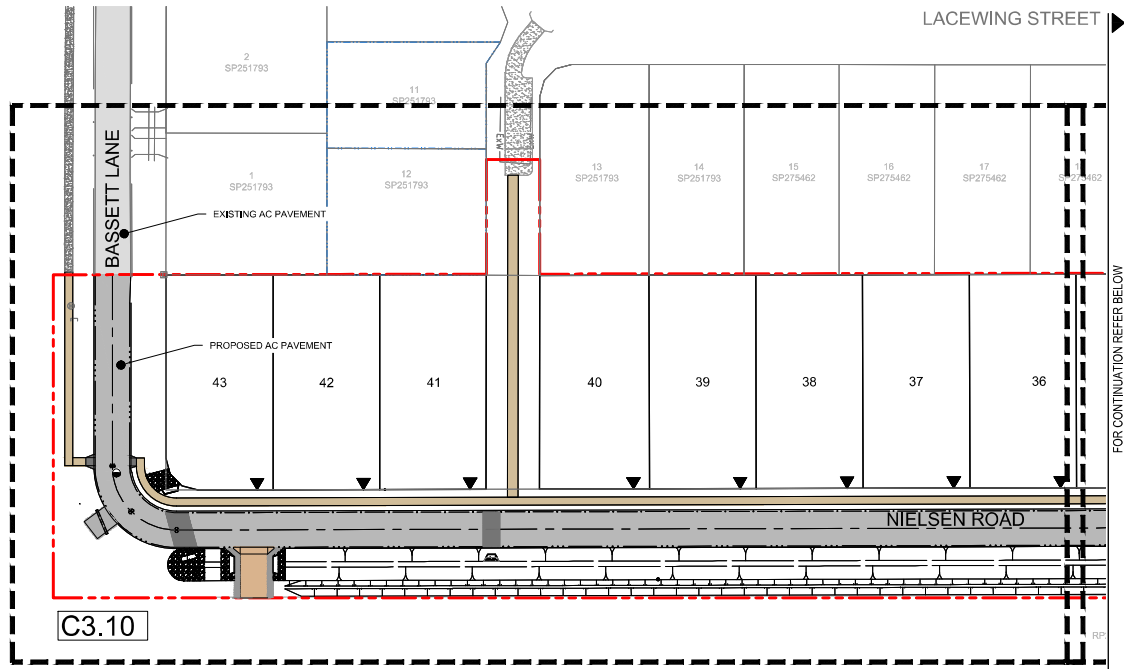
7001 NELSON ROAD
ROSEWOOD, QLD, 4340

Drawing Title

ROADWORKS
TYPICAL DETAILS AND GENERAL NOTES

Drawn MC	Date 12.03.20	Scale AS SHOWN	A1 G.A. Check RK	Date 16.11.21
Designed BG	Project No. BR180079.4		Draw. No. C3.00	Issue A

Project: 7001 NELSON ROAD, ROSEWOOD, QLD, 4340. Drawing: ROADWORKS TYPICAL DETAILS AND GENERAL NOTES. Issue: 16.11.21.



PRELIMINARY PAVEMENT DESIGN NIELSEN ROAD FLEXIBLE ASPHALT PAVEMENT

- ADOPTED VALUES FOR PRELIMINARY ACCESS STREET PAVEMENT DESIGN
- CBR_R = 3%
 - ESR₁ = 1.0 x 10⁶
 - PAVEMENT DEPTH TO BE CONFIRMED BY SUPERINTENDENT BASED ON ACTUAL CBR VALUE DETERMINED ON SITE BY GEOTECHNICAL ENGINEER AND SUBJECT TO COUNCIL SUBGRADE INSPECTION.
 - PAVEMENT DESIGN TO BE SUBMITTED TO COUNCIL FOR APPROVAL PRIOR TO CONSTRUCTION IN ACCORDANCE WITH I.C.C. PLANNING SCHEME - POLICY 3.

- #### LEGEND
- PROPOSED STAGE BOUNDARY
 - FINISHED CONTOURS (0.1m INTERVAL)
 - PROPOSED EDGE RESTRAINT (I.C.C. STD. SR11 ER2)
 - PROPOSED MOUNTABLE KERB ONLY (I.C.C. STD. SR11 M4)
 - TOP OF BATTER (TABLE DRAIN)
 - TOP OF BATTER (BUND)
 - PROPOSED STORMWATER TABLE DRAIN
 - PROPOSED STORMWATER 'V' DRAIN
 - PROPOSED ROOFWATER DRAINAGE
 - PROPOSED SEWER RETICULATION
 - PROPOSED WATER RETICULATION
 - PROPOSED AC PAVEMENT
 - PROPOSED FULL DEPTH PAVEMENT
 - CONCRETE FOOTPATH AS PER I.C.C. STD. SR19
 - PRAM RAMP CROSSING REFER I.C.C. STD. SR18
 - INDICATIVE DRIVEWAY LOCATION
 - EXISTING STORMWATER DRAINAGE
 - EXISTING SEWER RETICULATION
 - EXISTING WATER RETICULATION
 - EXISTING UNDERGROUND ELECTRICAL
 - EXISTING OVERHEAD ELECTRICAL
 - EXISTING TELSTRA
 - EXISTING UNDERGROUND COMMUNICATION
 - EXISTING EDGE OF BITUMEN
 - UNBROKEN SEPARATION LINE W=0.08m
 - PROPOSED GRAVEL ROAD SHAPING
 - EXISTING GRAVEL ROAD
 - EXISTING AC PAVEMENT

Pursuant to the Planning Act 2016, this plan forms part of Council's approval for

Approval No: 18248/2021/OW

Date: 24 January 2022



WARNING:

NOTE: EXTREME CARE TO BE TAKEN WHILE WORKING IN THE VICINITY OF OVERHEAD POWER LINES, UNDERGROUND POWER LINES AND TELSTRA CABLES. LOCATIONS ARE TO BE CONFIRMED PRIOR TO START OF CONSTRUCTION. CONTACT RELEVANT AUTHORITIES FOR SERVICES LOCATION. EXTREME CARE MUST BE TAKEN WHILST EXCAVATING.

TABLE DRAIN MUST BE REPROFILED IN THE AREA ASSOCIATED WITH THE REALIGNED GRAVEL ROAD

NOTE:

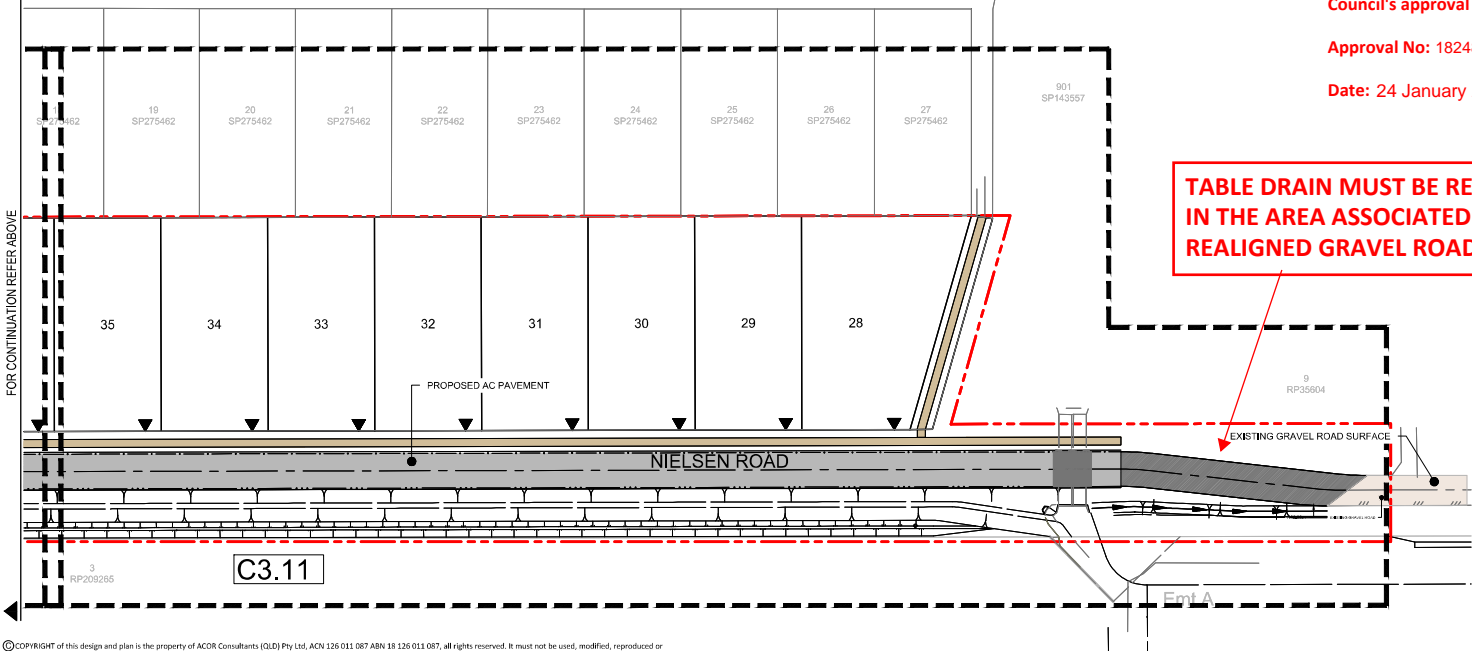
NOTWITHSTANDING THAT EXISTING SERVICES MAY OR MAY NOT BE SHOWN ON THE JOB DRAWINGS, NO RESPONSIBILITY IS TAKEN BY THE SUPERINTENDENT OR THE PRINCIPLE FOR THIS INFORMATION WHICH HAS BEEN SUPPLIED BY OTHERS. THE DETAILS ARE PROVIDED FOR INFORMATION ONLY. THE CONTRACTOR SHALL ASCERTAIN THE POSITION OF ANY UNDERGROUND SERVICES IN THIS AREA AND SHALL BE RESPONSIBLE FOR MAKING GOOD ANY DAMAGE THERE TO.

NOTE:

ACCESS AND SERVICES TO EXISTING PROPERTIES TO REMAIN AT ALL TIMES.

NOTE:

DRAWINGS TO BE READ IN CONJUNCTION WITH VEGETATION MANAGEMENT PLAN, SPECIALLY REGARDING TREE RETENTION.



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This drawing has been assigned an electronic code that signifies the drawing has been checked and approved by:

Rev	Description	Date	Drawn	Approved
A	BLUE FOR OPERATIONAL WORKS APPROVAL	16/11/21	BG	RK
P1	BLUE FOR REVIEW	12/03/20	MC	

Client:
RESIDEV QLD PTY LTD
12/2 QUAMBY PLACE
NOOSA HEADS 4567 QLD
PHONE: (07) 5455 5888

ENGINEER'S CERTIFICATION

Roshan Khadka
RPEQ NO: 15945
2021.11.16
14:17:19+10'00'



ACOR Consultants (QLD) Pty Ltd
Level 4, 43 Peel Street
South Brisbane QLD 4101
T +61 7 3844 5900

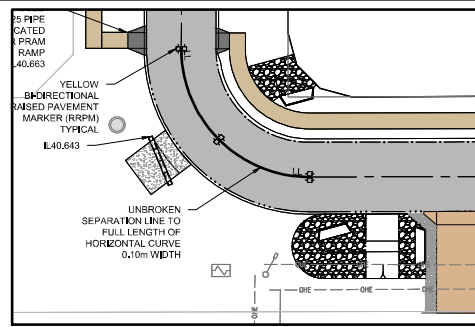
Project:
RESIDENTIAL DEVELOPMENT
ROSEHAVEN STAGE 4
7001 NIELSEN ROAD
ROSEWOOD, QLD, 4340

Drawing Title				Drawing No.		Scale		Date	
OVERALL ROADWORKS AND PAVEMENT LAYOUT PLAN				1750		1:750		16.11.21	
Drawn	Date	Scale	At	C.A. Check	Date	Drawn	Date	Scale	At
MC	12.03.20			RK	16.11.21				
Designed	Project No.	Drawn No.	Check No.	Issue					
BG	BR180079.4		C3.05	A					

0 15 30 45 m
SCALE 1:750 @ A1

ISSUE FOR APPROVAL

IN ACCORDANCE WITH
NOTE 7.2.6E OF PSP3 PART
7, THE FINAL FORM OF ALL
INLET AND OUTLET
STRUCTURES IS TO BE
SUBJECT TO ON-SITE
DETERMINATIONS WITH
COUNCIL



LINEMARKING INSET

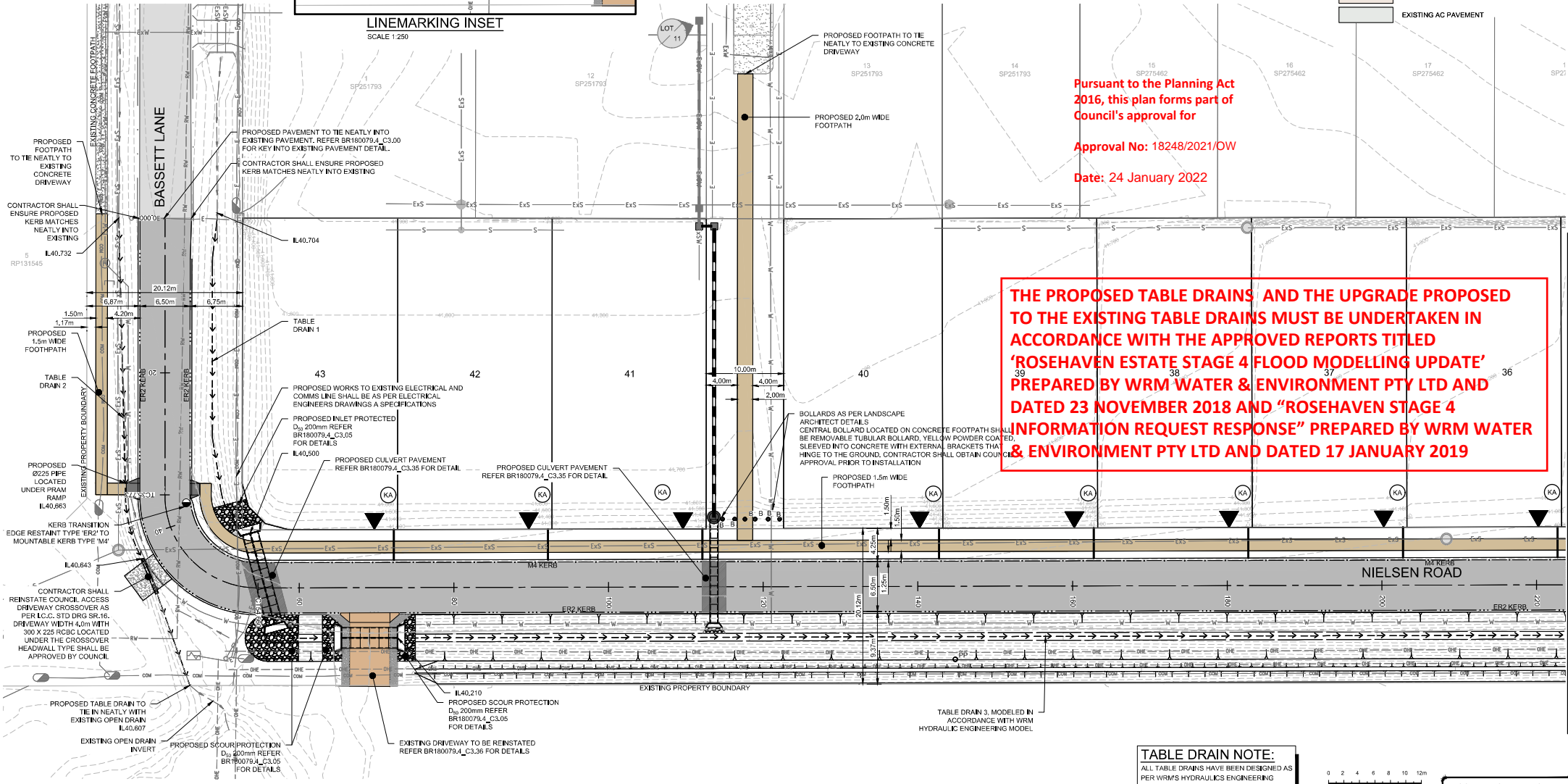
SCALE 1:250

LEGEND

- PROPOSED STAGE BOUNDARY
- FINISHED CONTOURS (0.1m INTERVAL)
- PROPOSED EDGE RESTRAINT (I.C.C STD. SR11 ER2)
- PROPOSED MOUNTABLE KERB ONLY (I.C.C STD. SR11 M4)
- TOP OF BATTER (TABLE DRAIN)
- TOP OF BATTER (BUND)
- PROPOSED STORMWATER TABLE DRAIN
- PROPOSED ROOFWATER DRAINAGE
- PROPOSED SEWER RETICULATION
- PROPOSED WATER RETICULATION
- PROPOSED ROOFWATER CONNECTION UNDER CONCRETE PATH LP.W.E.A.Q. STD DRG R-0081
- EXISTING STORMWATER PIPE

- BOLLARDS AS PER LANDSCAPE ARCHITECT DETAILS
- PROPOSED KERB TRANSITION
- PROPOSED STORMWATER STRUCTURE LABEL
- EXISTING STORMWATER STRUCTURE LABEL
- AC PAVEMENT
- CONCRETE FOOTPATH AS PER I.C.C STD. SR19
- PRAM RAMP CROSSING REFER I.C.C STD. SR18
- INDICATIVE DRIVEWAY LOCATION

- EXISTING STORMWATER DRAINAGE
- EXISTING SEWER RETICULATION
- EXISTING WATER RETICULATION
- EXISTING UNDERGROUND ELECTRICAL
- EXISTING OVERHEAD ELECTRICAL
- EXISTING TELSTRA
- EXISTING UNDERGROUND COMMUNICATION
- EXISTING EDGE OF BITUMEN
- EXISTING TABLE DRAIN
- EXISTING POWER POLE
- UNBROKEN SEPARATION LINE W=0.08m
- PROPOSED GRAVEL ROAD SHAPING
- EXISTING GRAVEL ROAD
- EXISTING AC PAVEMENT



THE PROPOSED TABLE DRAINS AND THE UPGRADE PROPOSED TO THE EXISTING TABLE DRAINS MUST BE UNDERTAKEN IN ACCORDANCE WITH THE APPROVED REPORTS TITLED 'ROSEHAVEN ESTATE STAGE 4 FLOOD MODELLING UPDATE' PREPARED BY WRM WATER & ENVIRONMENT PTY LTD AND DATED 23 NOVEMBER 2018 AND "ROSEHAVEN STAGE 4 INFORMATION REQUEST RESPONSE" PREPARED BY WRM WATER & ENVIRONMENT PTY LTD AND DATED 17 JANUARY 2019

TABLE DRAIN NOTE:
ALL TABLE DRAINS HAVE BEEN DESIGNED AS PER WRM'S HYDRAULICS ENGINEERING MODEL

0 2 4 6 8 10 12m
SCALE 1:250 @ A1
ISSUED FOR APPROVAL

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RESIDEV QLD PTY LTD				ENGINEER'S CERTIFICATION			
12/2 QUAMBY PLACE NOOSA HEADS 4567 QLD PHONE: (07) 5455 5888				Roshan Khadka RPEQ NO: 15945 2021.11.16 14:17:19+10'00'			
15/11/21				15/11/21			
BG				MC			
12/03/20				12/03/20			
Date				Date			
Drawn				Drawn			
MC				MC			
12.03.20				12.03.20			
Date				Date			
Designed				Designed			
BG				BG			
16.11.21				16.11.21			
Date				Date			
Project No.				Project No.			
BR180079.4				BR180079.4			
C3.10				C3.10			
A				A			
A				A			

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RESIDENTIAL DEVELOPMENT
ROSEHAVEN STAGE 4
7001 NELSEN ROAD
ROSEWOOD, QLD, 4340

ROADWORKS AND DRAINAGE LAYOUT PLAN SHEET 1 OF 2				ISSUED FOR APPROVAL			
Drawn	Date	Scale	At	Checked	Date	By	Scale
MC	12.03.20	1:250	At	RK	16.11.21	By	16.11.21
Designed	Project No.	Scale	At	Checked	Date	By	Scale
BG	BR180079.4	C3.10	At	RK	16.11.21	By	16.11.21

IN ACCORDANCE WITH NOTE 7.2.6E OF PSP3 PART 7, THE FINAL FORM OF ALL INLET AND OUTLET STRUCTURES IS TO BE SUBJECT TO ON-SITE DETERMINATIONS WITH COUNCIL

THE PROPOSED TABLE DRAINS AND THE UPGRADE PROPOSED TO THE EXISTING TABLE DRAINS MUST BE UNDERTAKEN IN ACCORDANCE WITH THE APPROVED REPORTS TITLED 'ROSEHAVEN ESTATE STAGE 4 FLOOD MODELLING UPDATE' PREPARED BY WRM WATER & ENVIRONMENT PTY LTD AND DATED 23 NOVEMBER 2018 AND "ROSEHAVEN STAGE 4 INFORMATION REQUEST RESPONSE" PREPARED BY WRM WATER & ENVIRONMENT PTY LTD AND DATED 17 JANUARY 2019

Pursuant to the Planning Act 2016, this plan forms part of Council's approval for

Approval No: 18248/2021/OW

Date: 24 January 2022

COVER FOR THESE EXISTING SEWER MANHOLES MUST BE FREE OF TOE TRIP

APPROPRIATE SCOUR PROTECTION SUCH AS GROUTED STONE PITCHING (IF VELOCITY IS OVER 1.8m/s) MUST BE PROVIDED

ROAD SHAPING SETOUT TABLE			
POINT	EASTING	NORTHING	ELEVATION
01	876.80	1009.82	40.18
02	882.56	1009.50	40.10
03	876.61	1006.57	40.08
04	882.20	1006.27	40.01
05	876.62	1003.32	39.98
06	881.85	1003.04	39.93
07	917.52	1005.65	39.64
08	922.73	1005.37	39.68
09	912.76	1002.91	39.66
10	918.79	1002.61	39.50
11	909.26	1000.02	39.66
12	915.25	999.70	39.60

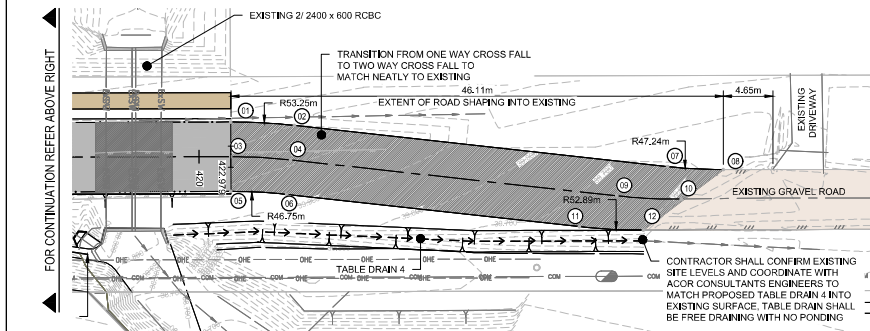
LEGEND

- PROPOSED STAGE BOUNDARY
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- EXISTING UNDERGROUND COMMUNICATION
- EXISTING EDGE OF BITUMEN
- EXISTING TABLE DRAIN
- EXISTING POWER POLE
- UNBROKEN SEPARATION LINE W=0.08m
- PROPOSED GRAVEL ROAD SHAPING
- EXISTING GRAVEL ROAD
- EXISTING AC PAVEMENT

TABLE DRAIN NOTE:
ALL TABLE DRAINS HAVE BEEN DESIGNED AS PER WRM'S HYDRAULICS ENGINEERING MODEL

0 2 4 6 8 10 12m
SCALE 1:250 @ A1

ISSUED FOR APPROVAL

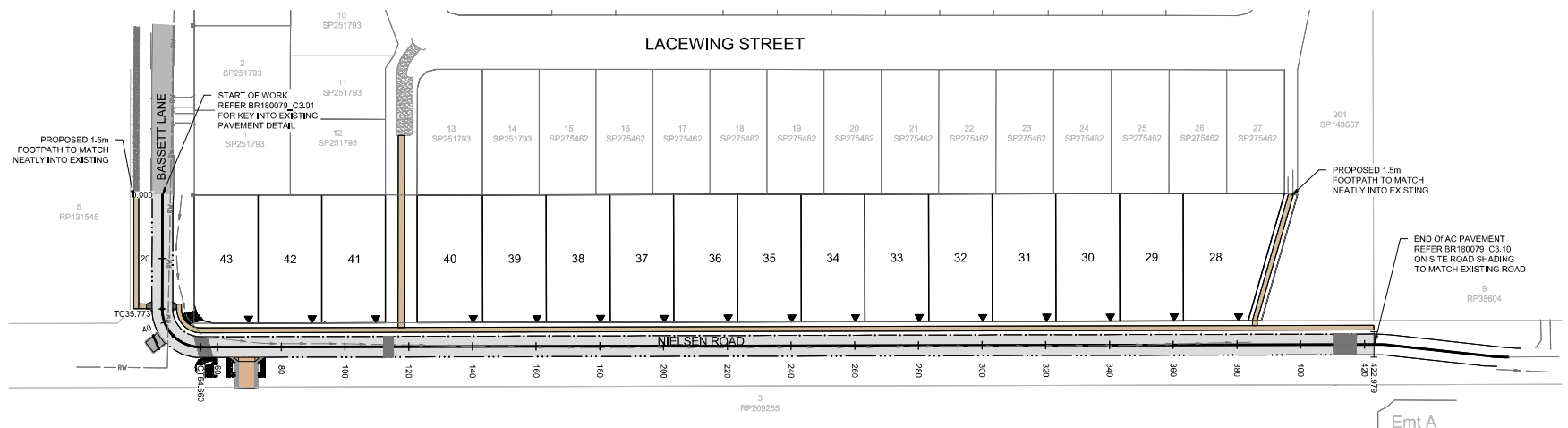


CONTRACTOR SHALL CONFIRM EXISTING SITE LEVELS AND COORDINATE WITH ACOR CONSULTANTS ENGINEERS TO MATCH PROPOSED TABLE DRAIN 4 INTO EXISTING SURFACE. TABLE DRAIN SHALL BE FREE DRAINING WITH NO PONDING

RESIDEV QLD PTY LTD			
12/2 QUAMBY PLACE NOOSA HEADS 4567 QLD PHONE : (07) 5455 5888			
ENGINEER'S CERTIFICATION			
Roshan Khadka RPEQ NO: 15945 2021.11.16 14:17:19+10'00'			
ACOR CONSULTANTS			
ACOR CONSULTANTS (QLD) Pty Ltd Level 4, 43 Peel Street South Brisbane QLD 4101 T +61 7 3844 5900			
Project 7001 NELSEN ROAD ROSEWOOD, QLD, 4340			
Drawing Title ROADWORKS AND DRAINAGE LAYOUT PLAN SHEET 2 OF 2			
Drawn MC	Date 12.03.20	Scale 1:250	At: C/A Check RK
Designed BG	Project No. BR180079.4	Drawn No. C3.11	Date 16.11.21

LEGEND

- PROPOSED STAGE BOUNDARY
- PROPOSED EDGE RESTRAINT (I.C.C STD. SR11 ER2)
- PROPOSED MOUNTABLE KERB ONLY (I.C.C STD. SR11 M4)
- AC PAVEMENT
- CONCRETE FOOTPATH AS PER I.C.C STD. SR19
- PROPOSED KERB TRANSITION
- PRAM RAMP CROSSING REFER I.C.C STD. SR18
- ROAD CONTROL LINE
- INDICATIVE DRIVEWAY LOCATION
- CULVERT ASPHALT



VERTICAL CURVE DATA

VERTICAL GRADE (%)

HORIZONTAL GEOMETRY

Datum R.L. 34.000

RIGHT LIP DESIGN LEVEL
LEFT LIP DESIGN LEVEL
DESIGN SURFACE LEVEL
EXISTING SURFACE LEVEL
CONTROL LINE CHAINAGE
SUPER ELEVATION

CHAINAGE	RIGHT LIP DESIGN LEVEL	LEFT LIP DESIGN LEVEL	DESIGN SURFACE LEVEL	EXISTING SURFACE LEVEL	CONTROL LINE CHAINAGE	SUPER ELEVATION
0.000	41.024	41.024	41.024	41.024	0.000	0.000
20.000	41.334	41.072	40.874	40.874	20.000	0.000
35.770	41.311	41.033	40.836	40.836	35.770	0.000
45.220	41.267	41.024	40.809	40.809	45.220	0.000
54.660	41.227	40.987	40.789	40.789	54.660	0.000
58.290	41.088	40.873	40.671	40.671	58.290	0.000
60.000	40.852	40.624	40.427	40.427	60.000	0.000
80.000	40.852	40.624	40.427	40.427	80.000	0.000
100.000	40.852	40.624	40.427	40.427	100.000	0.000
120.000	40.852	40.624	40.427	40.427	120.000	0.000
140.000	40.852	40.624	40.427	40.427	140.000	0.000
160.000	40.852	40.624	40.427	40.427	160.000	0.000
180.000	40.852	40.624	40.427	40.427	180.000	0.000
200.000	40.852	40.624	40.427	40.427	200.000	0.000
220.000	40.852	40.624	40.427	40.427	220.000	0.000
240.000	40.852	40.624	40.427	40.427	240.000	0.000
260.000	40.852	40.624	40.427	40.427	260.000	0.000
280.000	40.852	40.624	40.427	40.427	280.000	0.000
300.000	40.852	40.624	40.427	40.427	300.000	0.000
320.000	40.852	40.624	40.427	40.427	320.000	0.000
340.000	40.852	40.624	40.427	40.427	340.000	0.000
360.000	40.852	40.624	40.427	40.427	360.000	0.000
380.000	40.852	40.624	40.427	40.427	380.000	0.000
400.000	40.852	40.624	40.427	40.427	400.000	0.000
420.000	40.852	40.624	40.427	40.427	420.000	0.000
440.000	40.852	40.624	40.427	40.427	440.000	0.000
460.000	40.852	40.624	40.427	40.427	460.000	0.000
480.000	40.852	40.624	40.427	40.427	480.000	0.000
500.000	40.852	40.624	40.427	40.427	500.000	0.000
520.000	40.852	40.624	40.427	40.427	520.000	0.000
540.000	40.852	40.624	40.427	40.427	540.000	0.000
560.000	40.852	40.624	40.427	40.427	560.000	0.000
580.000	40.852	40.624	40.427	40.427	580.000	0.000
600.000	40.852	40.624	40.427	40.427	600.000	0.000
620.000	40.852	40.624	40.427	40.427	620.000	0.000
640.000	40.852	40.624	40.427	40.427	640.000	0.000
660.000	40.852	40.624	40.427	40.427	660.000	0.000
680.000	40.852	40.624	40.427	40.427	680.000	0.000
700.000	40.852	40.624	40.427	40.427	700.000	0.000
720.000	40.852	40.624	40.427	40.427	720.000	0.000
740.000	40.852	40.624	40.427	40.427	740.000	0.000
760.000	40.852	40.624	40.427	40.427	760.000	0.000
780.000	40.852	40.624	40.427	40.427	780.000	0.000
800.000	40.852	40.624	40.427	40.427	800.000	0.000
820.000	40.852	40.624	40.427	40.427	820.000	0.000
840.000	40.852	40.624	40.427	40.427	840.000	0.000
860.000	40.852	40.624	40.427	40.427	860.000	0.000
880.000	40.852	40.624	40.427	40.427	880.000	0.000
900.000	40.852	40.624	40.427	40.427	900.000	0.000
920.000	40.852	40.624	40.427	40.427	920.000	0.000
940.000	40.852	40.624	40.427	40.427	940.000	0.000
960.000	40.852	40.624	40.427	40.427	960.000	0.000
980.000	40.852	40.624	40.427	40.427	980.000	0.000
1000.000	40.852	40.624	40.427	40.427	1000.000	0.000

LONGITUDINAL SECTION - NIELSENS ROAD

HORIZONTAL SCALE 1 : 750

VERTICAL SCALE 1 : 75

NIELSEN ROAD CONTROL LINE SETOUT

PT	CHAINAGE	EASTING	NORTHING	HEIGHT	BEARING	RAD/SPIRAL	A.LENGTH	DEFL.ANGLE
IP 1	0.000	496.290	1053.490	41.120	180°02'40.02"			
TC	35.770	496.260	1017.720	41.030	180°02'40.02"			
IP 2	45.220	496.260	1005.680	41.010		R = +12.000	18.890	90°10'44.30"
CT	54.660	508.290	1005.710	40.990	89°51'55.72"			
IP 3	422.980	876.810	1006.570	40.080	89°51'55.72"			

Pursuant to the Planning Act 2016, this plan forms part of Council's approval for

Approval No: 18248/2021/OW

Date: 24 January 2022

GENERAL NOTES:

- THE CONTRACTOR SHALL TAKE OUT ALL APPROPRIATE LOCAL AUTHORITY PERMITS PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL NOTIFY THE SUPERINTENDENT PRIOR TO COMMENCEMENT OF DEMOLISHING ANY EXISTING STRUCTURES WITHIN THE SITE AREAS.
- FOR MARKETING REASONS, IT IS ESSENTIAL THE SITE IS KEPT IN A TIDY STATE EVEN DURING CONSTRUCTION. THE CONTRACTOR SHALL ALLOW IN HIS TENDER TO CLEAN UP THE SITE INCLUDING REMOVAL OF RUBBISH AND EXCESS SOIL. STACKING OF LOOSE PIPES AND GRADING OF DISTURBED AREAS AS DIRECTED EACH FRIDAY AFTERNOON TO PRESENT THE SITE IN THE MOST ATTRACTIVE MANNER AT ALL TIMES.
- WORKS SHALL BE PROGRAMMED SO AS NOT TO DISTURB NEARBY HOUSEHOLDERS EITHER BY DUST, NOISE, FLOODING OR DISCONNECTION OF SERVICES.
- ALL FILL AREAS SHALL BE CLEANED OUT TO SOLID AND INSPECTED BY THE SUPERINTENDENT BEFORE FILL IS PLACED.
- ALL WORK TO BE CARRIED OUT SHALL BE IN ACCORDANCE WITH WH&S GUIDELINES
- ALL DIMENSIONS ARE IN METERS UNLESS SHOWN OTHERWISE.

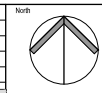
0 15 30 45 m
SCALE 1:750 @ A1

ISSUED FOR APPROVAL

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This drawing has been assigned an electronic code that signifies the drawing has been checked and approved by:

Rev	Description	Date	Drawn	Approved
A	ISSUED FOR OPERATIONAL WORKS APPROVAL	16/11/21	BG	RK
P1	BLUE FOR REVIEW	12/03/20	MC	



Client:

RESIDEV QLD PTY LTD

12/2 QUAMBY PLACE
NOOSA HEADS 4567 QLD
PHONE : (07) 5455 5888

ENGINEER'S CERTIFICATION

Roshan Khadka
RPEQ NO: 15945
2021.11.16
14:17:19+10'00'



ACOR Consultants (QLD) Pty Ltd

Level 4, 43 Peel Street
South Brisbane QLD 4101
T +61 7 3844 5900



Project:

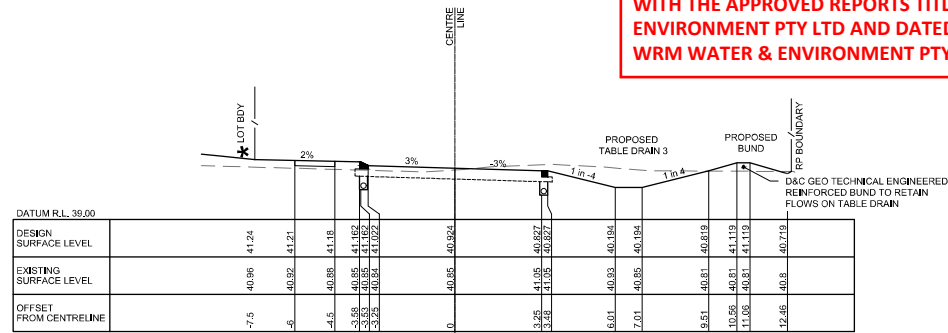
RESIDENTIAL DEVELOPMENT
ROSEHAVEN STAGE 4

7001 NIELSEN ROAD
ROSEWOOD, QLD, 4340

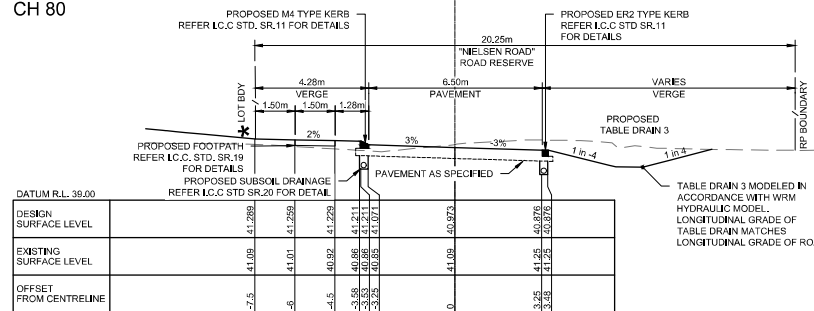
Drawing Title
NIELSEN ROAD SETOUT
AND LONGITUDINAL SECTION

Drawn	Date	Scale	A1	C.A. Check	Date
MC	12.03.20	1:750		RK	16.11.21
Designed	Project No.	Draw. No.	Issue		
BG	BR180079.4	C3.20	A		

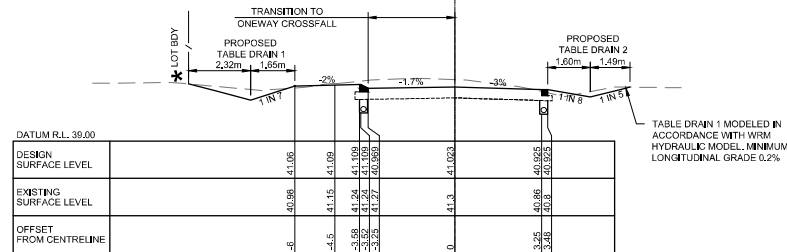
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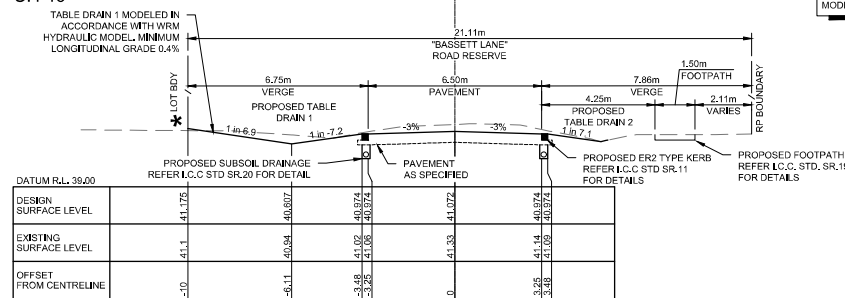
CH 80



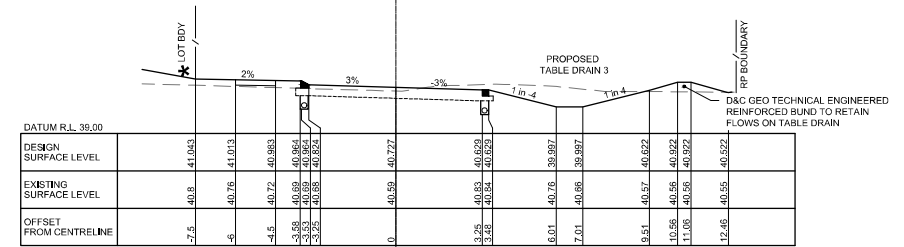
CH 60



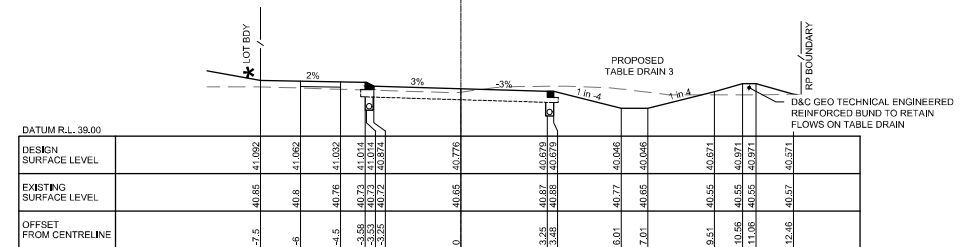
CH 40



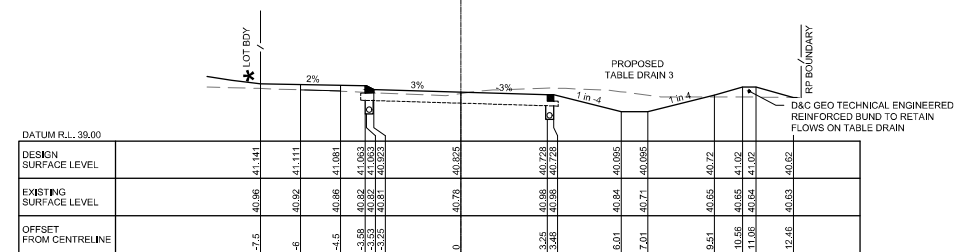
CH 20



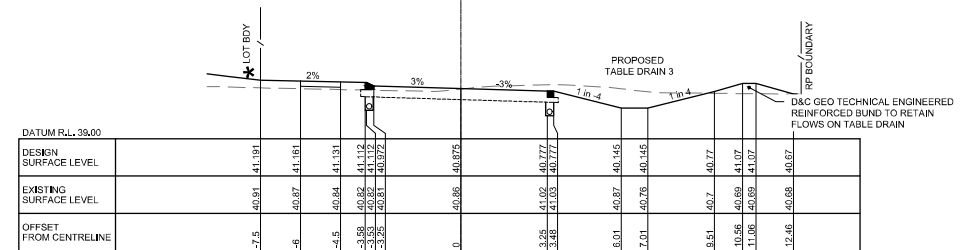
CH 160



CH 140



CH 120



CH 100

**Pursuant to the Planning Act
2016, this plan forms part of
Council's approval for**

Approval No: 18248/2021/OW

Date: 24 January 2022

TABLE DRAIN NOTE:
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PER WRMS HYDRAULICS ENGINEERING
MODEL

* - REFER BR180079.4 C2.10 - C2.11 FOR EARTHWORKS PAD LEVELS

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RPEQ NO:15945
2021.11.16
14:17:20+10'00'



ACOR Consultants (QLD) Pty Ltd

Level 4, 43 Peel Street
South Brisbane QLD 4101
T +61 7 3844 5900



td	Project	RESIDENTIAL DEVELOPMENT ROSEHAVEN STAGE 4
----	---------	--

7001 NIELSEN ROAD
ROSEWOOD, QLD, 4340

Drawing Title
NIELSEN ROAD
CROSS SECTIONS

SHEET 1 OF 3

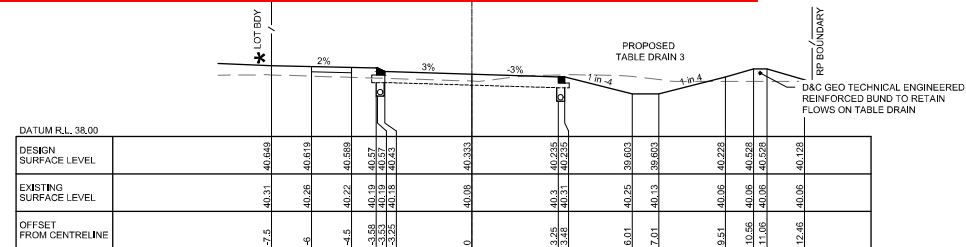
MC	12.03.2
Designed	Project No

ISSUE FOR APPROVAL

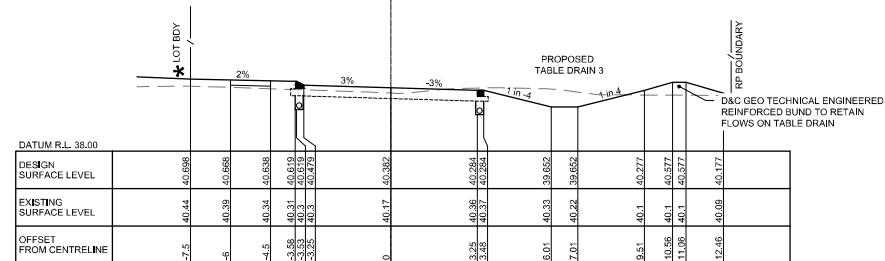
This drawing has been assigned an electronic code that signifies the drawing has been checked and approved by:						North		
A	ISSUE FOR OPERATIONAL WORKS APPROVAL					16/11/21	BG	RK
P1	ISSUE FOR REVIEW					12/01/20	MC	
Issue	Description					Date	Drawn	Approved

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A	ISSUE FOR OPERATIONAL WORKS APPROVAL					16/11/21	BG	RK
P1	ISSUE FOR REVIEW					12/01/20	MC	
Issue	Description					Date	Drawn	Approved

THE PROPOSED TABLE DRAINS AND THE UPGRADE PROPOSED TO THE EXISTING TABLE DRAINS MUST BE UNDERTAKEN IN ACCORDANCE WITH THE APPROVED REPORTS TITLED 'ROSEHAVEN ESTATE STAGE 4 FLOOD MODELLING UPDATE' PREPARED BY WRM WATER & ENVIRONMENT PTY LTD AND DATED 23 NOVEMBER 2018 AND "ROSEHAVEN STAGE 4 INFORMATION REQUEST RESPONSE" PREPARED BY WRM WATER & ENVIRONMENT PTY LTD AND DATED 17 JANUARY 2019

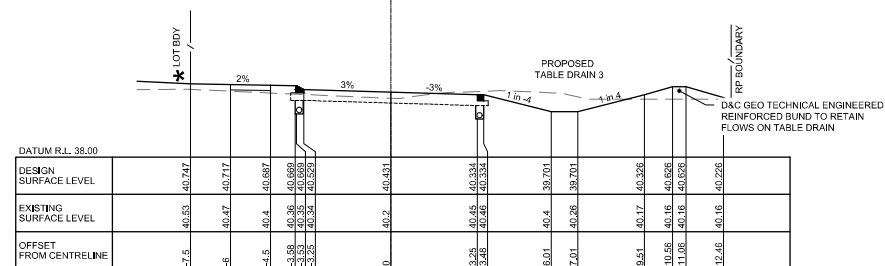


CH 320

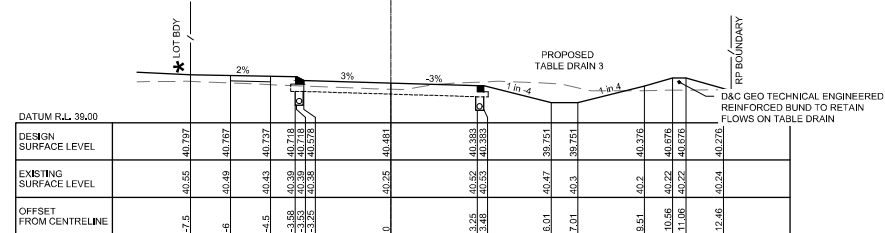


CH 300

Date: 24 January 2022



CH 280



CH 260

TABLE DRAIN NOTE:
ALL TABLE DRAINS HAVE BEEN DESIGNED AS
PER WRM'S HYDRAULICS ENGINEERING
MODEL

* - REFER BR180079.4 C2.10 - C2.11 FOR EARTHWORKS PAD LEVELS

CH 260

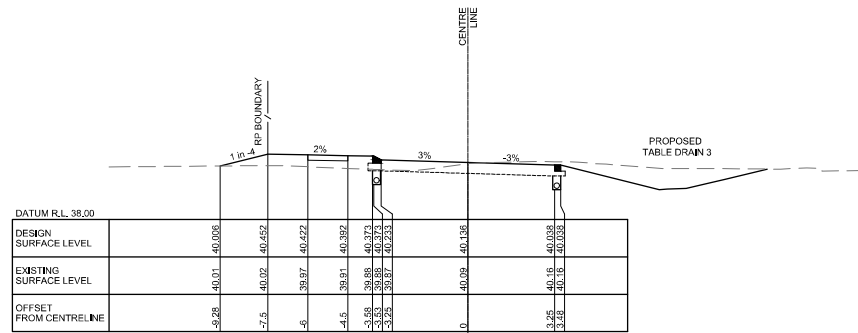
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ISSUED FOR APPROVAL

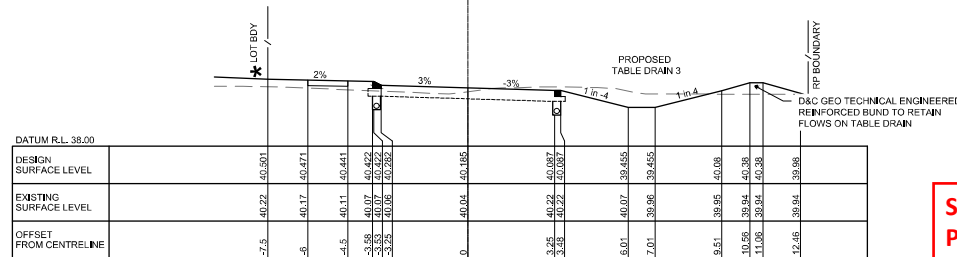
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Drawing Title					
NIELSEN ROAD CROSS SECTIONS SHEET 2 OF 3					
Drawn MC	Date 12.03.20	Scale 1:100	A1	C.A. Check RK	Date 16.11.20
Designed BG	Project No. BR180079.4		Dwg. No. C3.26		Issue A

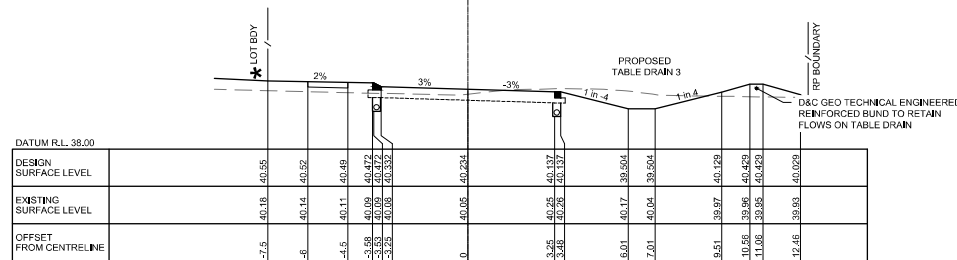
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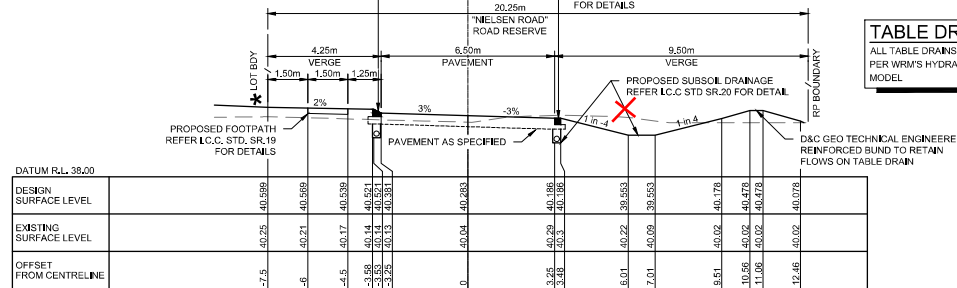
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CH 380



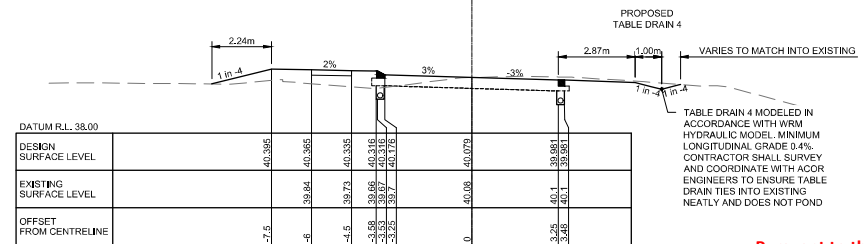
CH 360



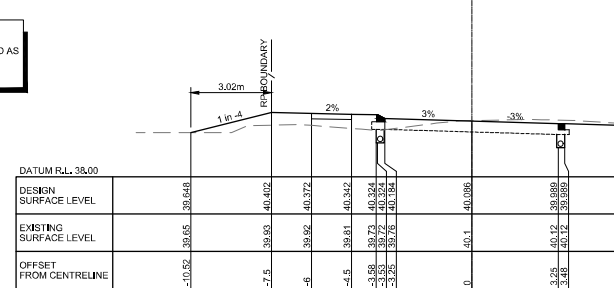
CH 340

SUBSOIL DRAINS FOR TABLE DRAIN TO BE PROVIDED IN ACCORDANCE WITH CONDITION 9(k)

TABLE DRAIN NOTE:
ALL TABLE DRAINS HAVE BEEN DESIGNED AS PER WRM'S HYDRAULICS ENGINEERING MODEL



CH 423



CH 420

Pursuant to the Planning Act 2016, this plan forms part of Council's approval for

Approval No: 18248/2021/OW

Date: 24 January 2022

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Rev	Description	Date	Drawn	Approved
A	ISSUED FOR OPERATIONAL WORKS APPROVAL	16/11/21	BG	RK
P1	BLUE FOR REVIEW	12/03/20	MC	

RESIDEV QLD PTY LTD
12/2 QUAMBY PLACE
NOOSA HEADS 4567 QLD
PHONE : (07) 5455 5868

ENGINEER'S CERTIFICATION
Roshan Khadka
RPEQ NO: 15945
2021.11.16
14:17:20+10'00'

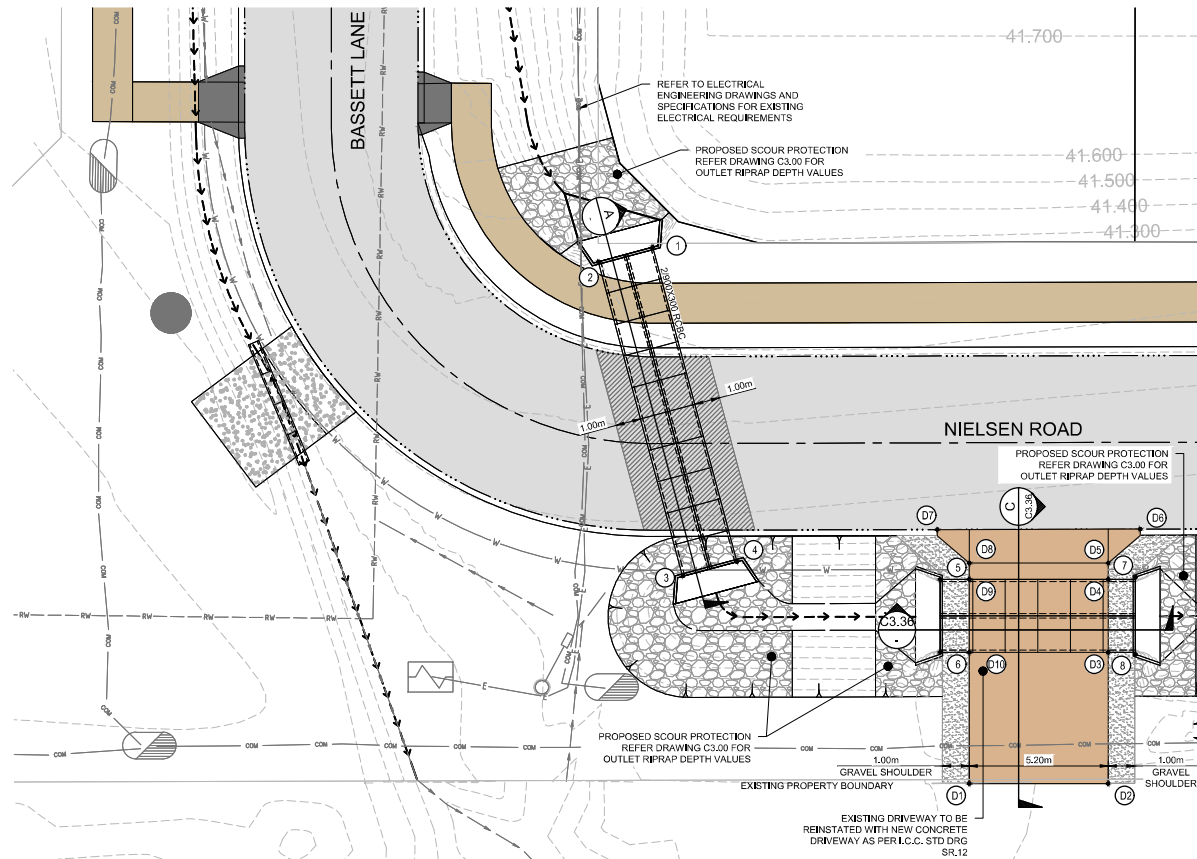


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**RESIDENTIAL DEVELOPMENT
ROSEHAVEN STAGE 4**
7001 NIelsen ROAD
ROSEWOOD, QLD, 4340

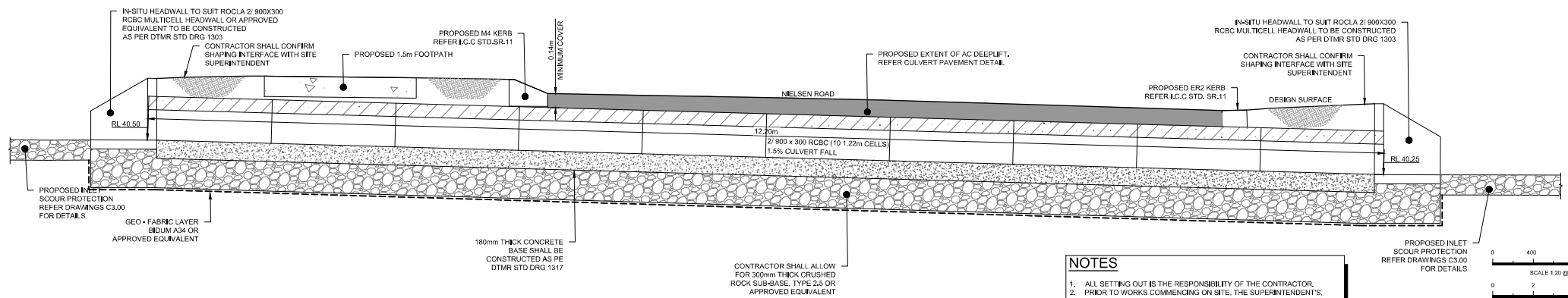
Drawn	Date	Scale	At	C/A Check	Date
MC	12.03.20	1:100		RK	16.11.21
Designed	Project No.	Draw No.	Issue		
BG	BR180079.4	C3.27	A		

SCALE 1:100 @ A1
ISSUED FOR APPROVAL



CULVERT LAYOUT PLAN

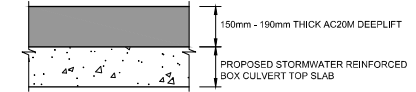
SCALE 1:100 (A1)



SECTION A-A

SCALE (A1): 1:20

RCBC SETOUT TABLE		
POINT NUMBER	EASTING	NORTHING
1	508.50	1013.12
2	506.27	1012.52
3	509.43	1000.74
4	511.46	1001.28
5	519.07	1000.62
6	519.07	997.89
7	526.39	1000.70
8	526.39	997.81



CULVERT PAVEMENT

SCALE 1:10

IN ACCORDANCE WITH NOTE 7.2.6E OF PSP3 PART 7, THE FINAL FORM OF ALL INLET AND OUTLET STRUCTURES IS TO BE SUBJECT TO ON-SITE DETERMINATIONS WITH COUNCIL

Pursuant to the Planning Act 2016, this plan forms part of Council's approval for

Approval No: 18248/2021/OW

Date: 24 January 2022



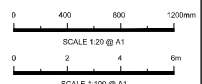
WARNING:

NOTE: EXTREME CARE TO BE TAKEN WHILE WORKING IN THE VICINITY OF OVERHEAD POWER LINES, UNDERGROUND POWER LINES AND TELSTRA CABLES. LOCATIONS ARE TO BE CONFIRMED PRIOR TO START OF CONSTRUCTION. CONTACT RELEVANT AUTHORITIES FOR SERVICES LOCATION. EXTREME CARE MUST BE TAKEN WHILST EXCAVATING.

NOTES

- ALL SETTING OUT IS THE RESPONSIBILITY OF THE CONTRACTOR. PRIOR TO WORKS COMMENCING ON SITE, THE SUPERINTENDENT, SURVEYOR SHALL PEG ALL ALLOTMENT BOUNDARIES, PROVIDE COORDINATE INFORMATION TO THESE PEGS AND PLACE BENCH MARKS. THE CONTRACTOR SHALL SET OUT THE WORKS FROM AND MAINTAIN THESE PEGS.

PROPOSED INLET SCOUR PROTECTION REFER DRAWINGS C3.00 FOR DETAILS



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A	BLUE FOR OPERATIONAL WORKS APPROVAL	16/11/21	BG RK
P1	BLUE FOR REVIEW	12/03/20	MC
Issue	Description	Date	Drawn

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ENGINEER'S CERTIFICATION

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Project

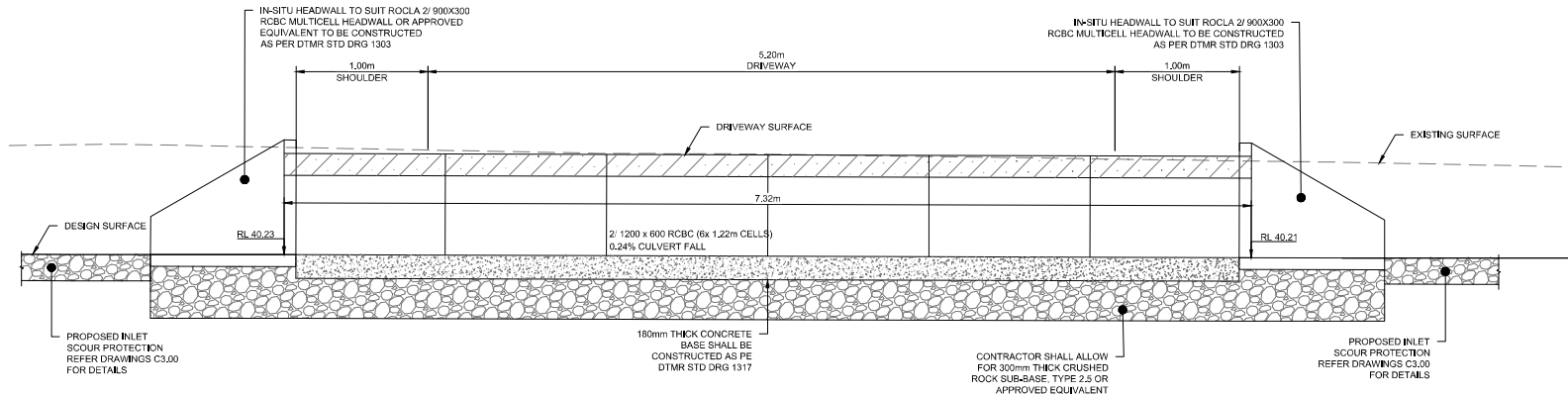
RESIDENTIAL DEVELOPMENT
ROSEHAVEN STAGE 4

7001 NIELSEN ROAD
ROSEWOOD, QLD, 4340

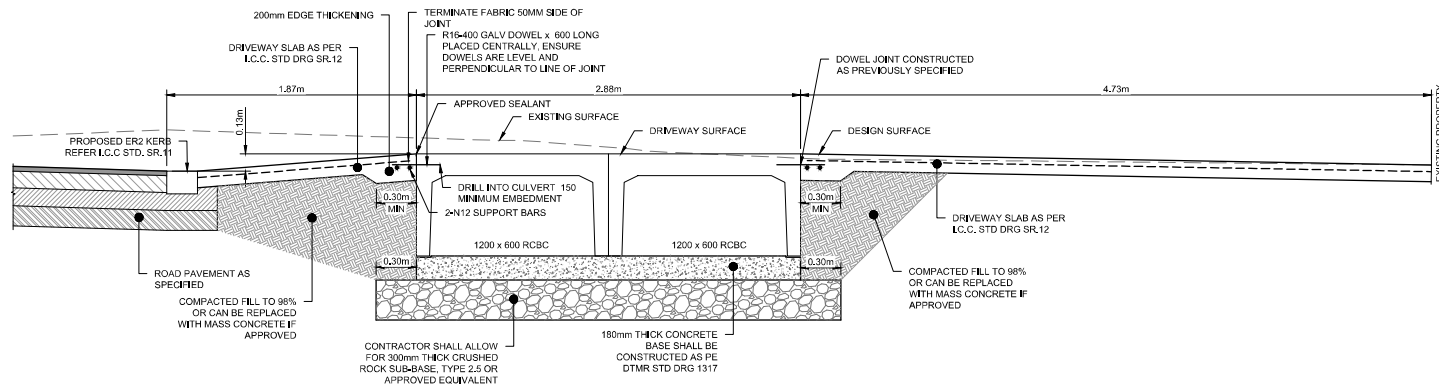
Drawing Title

NIELSEN ROAD CULVERTS LAYOUT PLAN
AND SECTIONS

Drawn	Date	Scale	A1	C/A Check	Date
MC	12.03.20	AS SHOWN	RK		16.11.21
Designed	Project No.	Draw No.	Issue		
BG	BR180079.4	C3.35	A		



SECTION B
SCALE (A1): 1:20
C3.35



SECTION C
SCALE (A1): 1:20
C3.35

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Date: 24 January 2022



WARNING:

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Rev	Description	Date	Drawn	Approved
A	ISSUE FOR OPERATIONAL WORKS APPROVAL	16/11/21	BG	RK

North

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RPEQ NO: 15945
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Project
RESIDENTIAL DEVELOPMENT
ROSEHAVEN STAGE 4

NT

Drawing No.		DRIVEWAY CULVERT SECTIONS			
Drawn BG	Date 16/11/2021	Scale AS SHOWN	A1	C/A Check RK	Date 16.11.21
Designed BG	Project No. BR180079.4			Draw. No. C3.36	Issue A

7001 Melse Road, Rosewood, QLD 4340
7001 Melse Road, Rosewood, QLD 4340
7001 Melse Road, Rosewood, QLD 4340

STRUCTURE NAME	LOT 11	LOT 12	1/1	2/1	3/1	OUT/1
	ICC FIELD INLET 600x600 TYPE 2	ICC FIELD INLET 600x600 TYPE 2	ICC FIELD INLET 600x600 TYPE 2	ICC FIELD INLET 600x600 TYPE 2	ICC MANHOLE 1200mm DIA	HEADWALL
STRUCTURE DESCRIPTION						

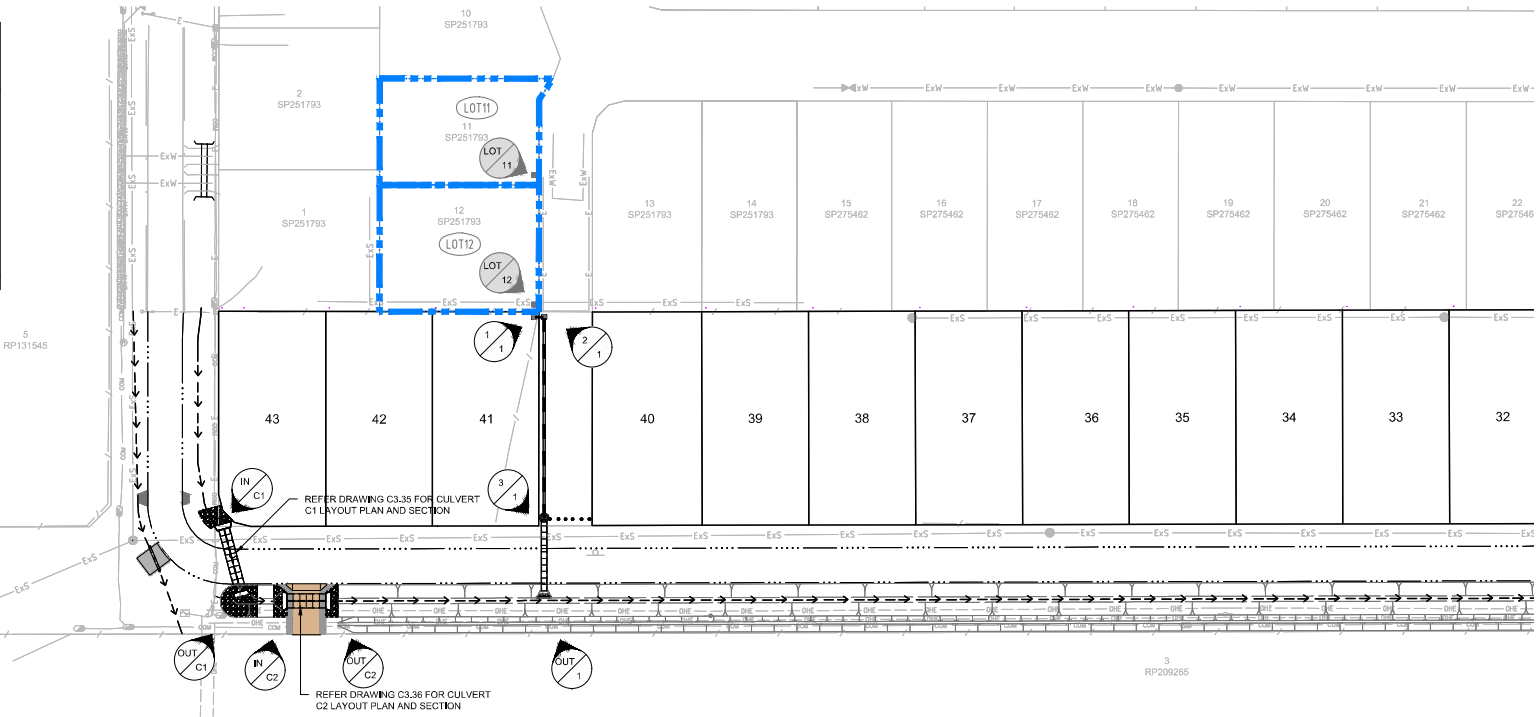
CONTRACTORS NOTE:
THE PIPE CLASSES HAVE BEEN DESIGNED FOR SERVICES LOADS ONLY. THE CONTRACTOR SHALL ASSESS ANTICIPATED LOADS AND UPGRADE THE PIPE IF NECESSARY IN ACCORDANCE WITH AS 3725-1989. CRACKED PIPES WILL NOT BE ACCEPTED.

- GULLY PITS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH ICC STD DRG S0.04
- GULLY PIT GRATE AND FRAME ARE TO BE CONSTRUCTED IN ACCORDANCE WITH ICC STD DRG S0.07
- ACCESS CHAMBERS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH ICC STD DRG S0.02
- STEP IRONS ARE TO BE INSTALLED IN ALL ACCESS CHAMBERS IN EXCESS OF 1.2m DEEP.

NOTE:
ALL PIPES SHALL BE CLASS 3 UNLESS NOTED OTHERWISE.

PIPE SIZE (mm)	225	225	225	375	900x300
PIPE CLASS	PVC	PVC	PVC	PVC	BC
PIPE GRADE (%)	1.52%	1.51%	1.00%	0.75%	0.79%
PIPE SLOPE (1 in X)	65.95	66.23	100.00	133.33	126.52
FULL PIPE VELOCITY (m/s)	0.84	1.81	1.80	0.65	0.26
PART FULL VELOCITY (m/s)	1.77	2.06	1.80	1.64	1.25
H.G.L IN PIPE & DATUM RL	27.0				
W.S.E IN STRUCTURE	41.747	41.608	41.529	41.284	41.248
PIPE FLOW (Cumecs)	0.033	0.072	0.072	0.072	0.070
PIPE CAPACITY AT GRADE (Cumecs)	0.072	0.072	0.058	0.197	0.545
DEPTH TO INVERT	0.730	41.199	40.932	40.796	40.687
INVERT LEVEL OF DRAIN	41.929	42.032	41.858	41.917	41.350
DESIGN SURFACE LEVEL	E 565.348	N 1072.804	E 565.348	N 1052.437	E 567.291
SETOUT COORDINATES	0.000	24.202	2.355	1.943	28.500
CHAINAGE					37.592

LINE LINE 1



- LEGEND**
- PROPOSED STAGE BOUNDARY
 - FINISHED CONTOURS (0.1m INTERVAL)
 - PROPOSED STORMWATER CATCHMENT LABEL
 - PROPOSED STORMWATER DRAINAGE
 - PROPOSED TABLE DRAIN
 - PROPOSED 'V' DRAIN
 - EXISTING STORMWATER CATCHMENT BOUNDARY
 - EXISTING STORMWATER CATCHMENT LABEL
 - EXISTING STORMWATER DRAINAGE

CATCHMENT	
CATCHMENT NAME	CATCHMENT AREA (ha)
LOT 11	0.0601
LOT 12	0.0701

Pursuant to the Planning Act 2016, this plan forms part of Council's approval for

Approval No: 18248/2021/OW

Date: 24 January 2022

OVERALL CATCHMENT LAYOUT PLAN
SCALE 1:500 (A1)



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P1	DESIGNED FOR REVIEW	12/03/20	MC	
Rev	Revised	Date	Drawn	Approved

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12/2 QUAMBY PLACE
NOOSA HEADS 4567 QLD
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**RESIDENTIAL DEVELOPMENT
ROSEHAVEN STAGE 4**
7001 NELSEN ROAD
ROSEWOOD, QLD, 4340

Drawing Title				
OVERALL STORMWATER CATCHMENT LAYOUT PLAN AND LONGITUDINAL SECTION				
Drawn	Date	Scale	A1	C.A. Check
MC	12.03.20	1:500		RK
Designed	Project No.	Drawn No.	Scale	Issue
BG	BR180079.4		C4.01	A

